

## **APPENDIX B: PICTORIAL REFERENCE**

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**SITE PLANNING PICTORIAL REFERENCE**



***GENERAL SITE PLANNING PRINCIPLES***



The preservation of mature trees, combined with masses of plantings and an earth berm, create a distinctive, attractive commercial environment. The landscape buffer helps screen the parking lot from the roadway.



Preservation of the mature pine trees add visual interest and reduce the impact of the limited front parking.



A careful site analysis will identify critical site features that should be incorporated into the open space plan.

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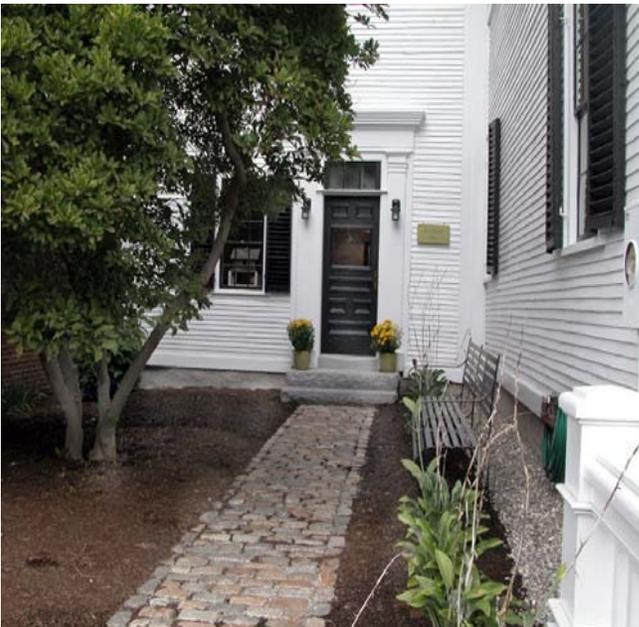
This fast-food restaurant (seen in air photo below) is an outparcel of a larger retail development. Circulation, including drive-through, parking, and pedestrian access, has been carefully integrated into the existing site.



The scale and appearance of an existing un-landscaped parking lot was improved by adding a new restaurant surrounded by landscaped islands.



Careful attention to proportions and site features give this building a strong sense of human scale. The stone wall, plantings, and walkway lighting create a welcome entrance. The building had been a flat-roofed commercial structure.



Accessibility was not considered in the design of this courtyard. The steps are a barrier to wheelchair users and the cobblestone walk is very difficult surface to walk on.

***CIRCULATION PLANNING***



The predominance of curb cuts along this roadway creates an unsafe/uninviting environment for the pedestrian.



Adjacent properties should be interconnected to reduce the number of turning movements on busy roadways. This connection should be better marked and landscaped.



These two properties feature both vehicle and pedestrian interconnections.



An island provides a refuge zone for pedestrians crossing this wide driveway. Permanent crosswalks should have minimized annual maintenance costs.



This planted bed is an attractive way to separate entering and exiting traffic.



This curbed, landscaped island divides entering and exiting traffic. The identification sign is located away from the intersection to avoid interfering with the motorists' line of sight.

***PARKING AREAS***



An attractively landscaped parking lot that is a positive asset to the surrounding commercial area. Bike racks are conveniently situated near surrounding shops.



Wide parking lot islands provide ample room for tree growth and snow storage.

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While asphalt curbing is inexpensive to install, it is very vulnerable to snowplow damage.



Parking lot islands should be defined by durable curbing materials to protect trees and minimize maintenance.



A low wall and ornamental plantings effectively screen this parking lot from view.

***PEDESTRIAN SPACES***



An informal dining area in front of a deli provides an attractive setting for customers. Parking is screened by an attractive wooden fence.



When this existing home was converted into a bakery the front porch was retained as a pleasant outdoor cafe.



An informal lawn area provides welcome visual relief and an opportunity for programmed activities.



Outdoor use areas should be designed as rooms, with consideration given to the floor, walls, ceiling, and furnishings.



This pedestrian passageway from the parking lot to the main entrance should have been designed as an inviting leafy space.



A bench along a narrow sidewalk facing a paved parking lot makes for a very uninviting pedestrian space.



A simple outdoor space can add vitality and interest to the streetscape.



This multi-building development is unified by a common architectural style and coordinated landscaping, lighting, and outdoor spaces.



This well-detailed outdoor space in a downtown environment provides an attractive opportunity for pedestrians. The wooden trellis and landscaping complement the building and add human scale.

### ***PUBLIC SIDEWALKS***



A well-built concrete sidewalk with granite curbing and a landscaped planter strip creates an inviting pedestrian space.



Private development should be connected with public sidewalks wherever possible. This sidewalk should have wrapped around the corner.

***INTERNAL WALKWAYS***



A well-landscape walkway becomes an integral part of the site plan.



This circulation system results in excessive width in front of the storefronts and creates an auto-oriented environment. The painted walkway offers little contrast and leads to the parking aisle.



This raised walkway provides a high level of contrast with the surrounding parking lot. However, the width is compromised by the overhang of cars, making pedestrian movement difficult.



The crosswalk leading from a rear parking lot is constructed of concrete pavers that provide a high level of contrast and visibility.



An internal walkway oriented toward the main entry of a restaurant. The planting strips with ornamental grasses and perennials separate the pathway from vehicles.



A dedicated walkway that provides a safe, well-marked pathway to the main entrance while minimizing conflicts with vehicles.



Textured pavement alerts motorists to the presence of pedestrians in front of this grocery store.



Concrete pavement provides an effective way to set the internal walkway apart from the surrounding parking lot.



This internal walkway crosses over a curb, making access difficult for people with disabilities.



The walkway in the parking lot leads to a well-defined crosswalk to maintain continuity.



The pedestrian circulation system in this shopping center includes well marked crosswalks and sidewalks.



A highly visible internal crosswalk that effectively connects the parking lot to the storefronts.



Accessible walkways should be integrated into the site as opposed to becoming an overwhelming feature as in this example.

***MULTIPLE-BUILDING DEVELOPMENTS***



Similar roof pitches, pedestrian use areas, and traditional building materials help unify this multi-building development.



These buildings have been sited to reinforce pedestrian circulation patterns and reduce the scale of the overall development.

***OUTDOOR SERVICE AND STORAGE***



Storage areas should be located at the rear or side yards, away from public view.

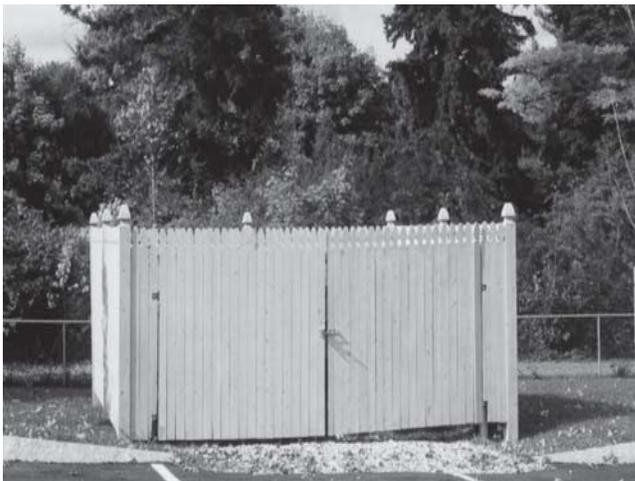


This service area is effectively screened by fencing that repeats the color, materials, and forms of the building.

***SERVICE AREAS***



Service areas, loading docks, and dumpsters should be considered an integral part of the site development, sited to avoid visual and functional conflicts.



A typical trash enclosure that could be improved by plantings shade trees to help minimize odors, reinforcing the gates, and staining a dark color.



This trash enclosure was not properly sized to handle the dumpster needed for the facility.



This service area is effectively integrated into the side of the building. The evergreen buffer acts as an appropriate and attractive screen.



This service area is screened by a solid wall topped by a trellis structure that repeats design elements used elsewhere on the site.



This service area is effectively buffered by grade changes and evergreen trees.

### ***BUFFERS AND SCREENING***



Landscape buffers can separate land uses and soften the presence of buildings.



A variable height fence provides good visual separation between a convenience store and a residential neighborhood. The fence is attractive on both sides.



This stand of trees creates an effective visual buffer between the road and the plaza parking lot.



While these evergreens partially screen the dumpster, it still protrudes into view. The plantings should have been combined with a fence for more effective screening.



A low earth berm screens a parking lot. Ornamental trees or plantings added to the berm would make it more effective and increase its aesthetic value.



This parking lot was screened by a combination of dropping the grade and dense plantings.

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A classic stone wall complements the contemporary bank building.



This shrub screen would be more effective if the plants were larger or if they had been planted on a low berm.



Plantings can provide effective screening if they are properly designed and maintained. Planting should have been of a consistent height to provide uniform screening.

***STORMWATER MANAGEMENT***



Stormwater treatment ponds can be designed to create attractive focal points in the landscape.



Rip-rap is often necessary to control erosion and stabilize slopes. Hand placed stone or natural landscaping would have improved the appearance of this treatment pond.



A stormwater treatment facility contoured to blend into the surrounding landscape.

**ARCHITECTURE PICTORIAL REFERENCE**



The scale of this traditionally designed bank is reduced by variations in roofline, massing, and high quality architectural details.

***GENERAL ARCHITECTURAL PRINCIPLES***



Examples of high quality New Hampshire architecture – a visitor center, a retail store, and a library – that have been designed at human scale and fit their unique sites.

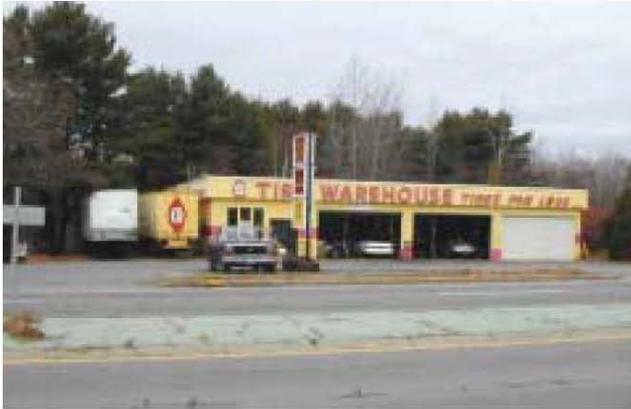


These four commercial buildings are characterized by their use of traditional New England forms

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and materials. Entrances are well marked and provide users with areas for shelter and/or interaction.



Three examples of generic buildings that have no reference to traditional New England forms or materials and would not be appropriate to New Durham.



A freestanding ATM and remote teller located in the rear of building designed to complement the main bank building in color, scale, and detailing.



A freestanding car wash designed with the forms, colors, and materials commonly found in New England.



The scale of this hardware store has been reduced by wide roof overhangs, projecting gabled entranceways, and roof support brackets.

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This restaurant occupies a highly visible corner location, the building designed to complement the main bank yet provides the public with a blank wall that in color, scale, and detailing does not contribute to the aesthetics of the street.



A commercial building that lacks scale. There are virtually no distinguishing features to give the structure character or relate it to the context of New England.



This cart corral does not reflect the architectural treatment of the large retail establishment and appears out of place in the parking lot.

***RENOVATIONS & ADDITIONS***



The additions on both sides of this restaurant do not relate to the form of the central structure.



The essential character of this simple cottage was preserved when it was renovated into an office. The addition in the rear followed the same lines as the original structure.



The repetition of architectural and landscape details help to integrate a shopping center with a historic building.



A shingle-style renovation transformed a small nondescript building into a noteworthy restaurant.

***FAÇADE DESIGN***



The front elevation of this small convenience store has a well-defined entrance that offers some protection to its customers. Space should have been provided for the vending machine.



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These entrances on adjacent buildings are marked by a raised parapet, integrated signage, an outdoor sitting/ dining area, display windows, pedestrian-scale lighting, and planters.



Transparency is achieved with windows on all facades of this small restaurant. The design of the building is enriched by planters, awnings, and integrated signage.



Small scale buildings, especially those viewed at close range, offer an opportunity to display a high level of detailing to enrich the pedestrian environment.



Facades should incorporate architectural features such as display windows and pilasters to create visual interest. This is especially important in pedestrian spaces.



The wooden trellis is an effective way to break up the length of this otherwise blank facade.



While the front plane of the wall of this building is broken, the offset does not continue to the ground. The projection becomes a billboard and the building is seen as a large box.



The scale of this 'big box' has been effectively reduced by architectural elements and detailing. The overhang provides protection for pedestrians and emphasizes the entrance.



All facades on this branch bank were treated with equal importance. The front (top) faces the street and is built to the sidewalk, encouraging pedestrian traffic. The side of the building (middle) facing a single family home is residential in scale and design. The canopy at the rear (bottom) provides a transition area between the parking lot and the back entrance.



The facade treatment wraps around the entire structure, creating a sense of continuity and design completeness. The building takes full advantage of a dramatic site.



The building's meters and service connections are located out of sight in this service cabinet.

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\*A "Town Center" shopping center including about 5 shops and a bank, all achieved by combining an old building, barn and new construction of the bank (in the further distance. Limited parking in front.

***BUILDING MATERIALS***



Cement plank clapboard is a new material that resembles traditional wooden siding with less maintenance



Traditional materials used on new buildings to blend into historic settings



*Treated cedar shingles and stone*



*Clapboards with wood panels under windows*



LEFT: Clapboard siding with brick RIGHT: Stained/painted wooden clapboards and cloth awnings



LEFT: Stone RIGHT: Stained clapboards with wooden cupola



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LEFT: Reflective metallic siding RIGHT: Metal panels



LEFT: Multicolored brick RIGHT: Untreated split face block



LEFT: Highly reflective glazed tile with bright plastic accents RIGHT: Textured plywood and arbitrary changes in materials



Painted concrete block



EIFS (exterior insulation and finishing system)

***ARCHITECTURAL DETAILING***



Deep roof overhangs can provide a sheltered place for outdoor sales as well as protection for pedestrians.



This small office building has been trimmed and detailed to reflect its origins as a summer cottage.



Roof overhangs give a distinct shadow line which helps to unify these buildings.



A mixed use building with retail below and residential above. Signage and lighting are integrated into the facade.

### ***AWNINGS & CANOPIES***



Backlit, highly reflective canopies are advertising features and not appropriate in New Durham. These canopies function primarily as large signs, which are not acceptable.



Canopies over the doorways emphasize the main entrance and provide effective protection from the elements.

## ***ROOFS***



The color and texture of the shingles on this roof complement the building's style and color.



Standing seam metal roofing is a traditional material common in older commercial buildings in New England.



Roof colors should be muted earth tones or a color that is darker than the facade. Bright colors are not appropriate in New Durham.



The apparent lack of support for this projecting tower makes the roof appear top-heavy.



The roof-mounted HVAC equipment is highly visible from the public parking lot. The projecting cupola is not integrated into the structure and appears to float.



The mechanical equipment on the peak of this roof gives it a cluttered, top-heavy appearance.



A cupola at the peak of this roof is a traditional form used in a contemporary structure. Roof-mounted mechanical equipment has been effectively screened by balustrades.



The central cupola is integrated into the roofline and provides a welcome break in the length of this building.



Flat roofs are generally not allowed for commercial structures.



An office building featuring a variety of gable roofs. The pitch on the flat dormer matches the pitch on the entryway.



Examples of hipped roof in a recent addition (left) and an historic structure (right).



A gambrel roof used in a modern office building recalls the design of shingle-style summer homes.



Shed roofs such as these are not allowed for commercial structures.



Roofs on large buildings should help to reduce its scale. The flat roof in the top photo is still

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predominant and would not be acceptable. The bottom example successfully breaks up the scale of the building by variety in massing and roof planes.



This is basically a flat-roofed building that would not be acceptable.



Gable rooflines should continue to the peak. This would be considered a flat-roofed building and not acceptable.



This applied gable does not relate to the architectural style of the building or the dominant roofline.



*Two examples of applied mansards on flat-roofed buildings.*



Roof pitches on adjacent buildings should match to avoid situations such as this.

## ***ROOF PITCHES***



Flat roofs are prohibited for the primary roof.

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The predominant pitch on this roof is 3:12 and is no longer allowed in the MU, LB, C, or KF districts.



A roof with a 4:12 pitch.



The two-story portion of this town hall on the left has a 10:12 pitch. The one story section has a 5:12 pitch.



The 9:12 pitch on the shelter covering this access ramp matches the slope on the main roof on this restaurant.



This new commercial building features a 12:12 pitch, which would be allowed throughout New Durham.

***ARCHITECTURAL DETAILS FOR STREET CORNERS***



The mass of this two-story corner retail store provides an effective anchor for the street.



The main entrance to this corner store faces the intersection, where people see it easily from both directions.

***ARCHITECTURAL DETAILS OF NATIONAL FRANCHISES***



A fast food restaurant that was designed to complement the vision for a highway corridor.



An addition to house an indoor playground bears no relationship to the existing structure. Flat roofs are not allowed in New Durham.



The designs used for national franchises are often repeated across the country. Generic architecture has little or no reference to traditional New England forms.

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**ARCHITECTURAL DETAILS OF NATIONAL FRANCHISES  
(UNACCEPTABLE)**



**ARCHITECTURAL DETAILS OF NATIONAL FRANCHISES (ACCEPTABLE)**



***LINEAR COMMERCIAL BUILDINGS***



Covered walkways add a shadow line which can reduce the scale of a long building and unify the facade.



Colonnades add visual interest to linear buildings, while providing scale and protection from the elements.



A commercial building that uses a clock tower as a focal point. Offset in the roofline helps to break up the mass of the building.



A multi-tenant building with no variation in the roofline or facades to break up the scale.



Covered walkway encourages pedestrian movement and window shopping.



Variety in the use of materials adds visual interest to all facades.



Examples of linear buildings that have been effectively scaled down by variations in the roofline and facade treatment.



The scale of this linear shopping plaza has been effectively reduced through variations in roof

planes, dormers and a cupola.



The design of this commercial building features variations in roofline, awnings, and an emphasis on the front door.

### ***GASOLINE STATIONS & CONVENIENCE STORES***



The flat-roofed canopy bears no design relationship to the well-detailed convenience store in terms of form, materials, or architectural style. The store was designed to fit into the residential surroundings.



This service station canopy is designed to be an extension of the building. The columns, roofline, dormers, and signage contribute to a sense of continuity in the architecture.



The pump canopy repeats the same forms, colors, and materials as the main building.



This gasoline station is sited close to the road with the canopy and pumps in the rear.

***DRIVE-THROUGHS***



These drive-through windows have been designed as integral parts of the buildings. They repeat the rooflines, forms, and materials used in the main building.

**LANDSCAPE PICTORIAL REFERENCE**



***GENERAL LANDSCAPE PRINCIPLES***



Landscaping is an integral part of site development. With proper planning, trees, shrubs, and other plantings can provide shade, emphasize entrances, screen undesirable views, and add yearlong color and interest.



A well-coordinated low-maintenance landscape that provides an attractive commercial setting.



Smaller shrubs should have been used in front of this bank to avoid conflicts with the driveway. The tree on the left side of the walk may eventually block the view of the sign.



A mature shrub next to a driveway could cause problems with visibility for cars exiting the driveway.



Rocks may not be used in lieu of plantings.



These rocks define the edge of the driveway and keep cars off the grass. While they have been buried properly, some plantings would soften their angular edges.

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While rocks keep cars out of the planter strip they do not provide the visual interest or texture of well-designed plantings.



Trees and shrubs should be at least the minimum size to be effective and withstand the rigors of a commercial site.



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The entrance to this medical building is reinforced by properly sized plantings that provide seasonal interest.



Effective landscape plans often incorporate hardy perennials as a groundcover to complement the architecture.

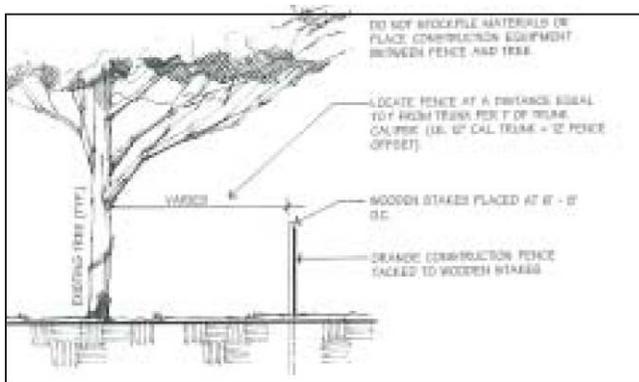


Plantings have been used to create outdoor use areas and increase the attractiveness of this commercial building.

***TREE PROTECTION***



These mature evergreens were carefully saved during the development of this shopping area. The trees add historic character, visual interest, and shade.



Tree protection Detail



The retaining wall (l) was used to minimize grading that could have harmed the adjacent trees.

The tree well (r) should have extended out to the drip line to protect the root system near the surface.

***PLANTER STRIPS***



*Ornamental grasses used as an effective groundcover to emphasize their texture and color.*

Planter strips should be fully vegetated with turf grass (above) or other living plant material.



Wildflowers can be an effective groundcover if properly installed and maintained.



Bark mulch, stone, or other inert material should not be used as a groundcover in planter strips.



To be effective, vegetation in planter strips should be tall enough to screen parking lots.



Informal groupings of trees are more commonly seen in New Durham, relating well to existing trees adjacent to roadways.



Combination of berm and plantings to effectively screen a parking lot.



Planter strips should contain streetside trees. Credit is given for preserving existing trees.



Linear grouping of trees can be used to create a boulevard effect.

***PARKING LOT LANDSCAPING***



Trees in these parking lots have been given an adequate amount of room for their root systems to

grow. The lower branches have been pruned above eye height. Planting trees in groups provides more effective shade than individual plantings.



Grass or other living groundcover is preferred in parking lot islands to counteract the heat island effect.



Tall shrubs in parking lots can block visibility and present a safety hazard. Their location also interferes with snow removal.



Ornamental trees lead the eye to the entrance of this outlet mall. Shrub masses and/or berms should have been used in addition to screen the parking lot.



Perennials can be an effective way to add color and visual interest to parking lots.



This island adds visual interest to the parking lot and can withstand harsh winter conditions.



Parking lot islands provide an opportunity to use a variety of plant species to break up the mass of pavement and introduce interesting textures.

***TREE SELECTION & PLANTINGS***



White birches add contrast to the building and cast a light shadow on this outdoor use area.



Trees should be planted at least five feet from curbs to protect them from plow damage. More perennials should have been used to achieve a mass effect.



These trees have been pruned to 8 feet above the parking lot walkway to minimize interference at eye level for both drivers and pedestrians.

### ***SHRUBS & ORNAMENTAL PLANTINGS***



A simple bed of flowering shrubs makes an effective, low-maintenance foundation planting.



Small areas of accent plantings can add color, texture, and visual interest to the landscape.



Ornamental grasses and low shrubs can provide a cost-effective, low-maintenance way to add year-round texture.

***LANDSCAPE MAINTENANCE***



**Maintenance Plan.** A written maintenance plan should be provided as a supplement to the Landscape Plan for all landscape elements installed on the property. The maintenance plan should include (but not be limited to) initial installation, guarantee period, replacement policy, periodic and seasonal maintenance, use of pesticides and fertilizers, irrigation, seasonal displays, and special considerations.



**Natural Forms:** All plant material should be allowed to achieve their natural forms without excessive pruning. Shaping shrubs into tight geometrical forms should be avoided.



Parking lots can present particular problems for maintenance, with plantings exposed to salt, snow plows, piles of snow, and errant vehicles.



Dead, dying, or diseased plantings should be removed and replaced within the growing season to

maintain a unified, attractive appearance throughout the landscape.



Tight planting pockets and installation too close to buildings may put stress on trees and present a problem when removing dead materials.



Trees, shrubs, and perennial groundcover used to create a highly unified, inviting streetscape.



Flowering shrubs and perennials are an attractive way to edge a parking lot and soften the building.



A simple planting plan that features drifts of perennials and ornamental grasses to accentuate the front of a medical office building.

## LIGHTING PICTORIAL REFERENCE



The lighting plan for this commercial building considers both security and visual appeal for motorists and pedestrians.

***GENERAL LIGHTING PRINCIPLES***



The color, form, and line of this fixture reflect the contemporary design of this office building. Its height and placement contributes to the human scale of the entrance.



A cut-off fixture that complements the simple line of this commercial building. The fixture is mounted on an 18-foot pole on a one-foot base for an effective height of 19 feet.



Period light fixtures can be an effective and attractive way to add character and scale to the landscape. Fixtures are available with internal baffles to minimize glare.



This pedestrian fixture has been located to illuminate the crosswalk that leads into a commercial establishment.



These tall pole-mounted fixtures are out of scale with the development.



Highly detailed ornamental lighting, mounted on 10' poles, is in scale with the pedestrian environment.

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These light fixtures complement the surrounding architecture and site through the use of similar materials and appropriate scale.



The wall-mounted light fixture on the right appears too small in relation to the height and scale of this large retail store. A proper installation is seen in the left photo.



A well-coordinated lighting plan that uses variations on the same fixture for both walkway and parking lot lighting.



Small spotlights directed downward are easily aimed to prevent glare. The simple design of the fixture complements the line and colors of the sign.

***DRIVEWAYS***



Driveway lighting effectively used to add character to a new road and illuminate the adjacent sidewalk.



Simple 'shoe-box' fixtures mounted on square poles provide a clean look that complements the site.

***PARKING LOTS, OUTDOOR SALES & SERVICE AREAS***



These light fixtures have been coordinated with the planting plan to avoid problems as the trees mature. Slightly raised bases protect the poles from plow damage.



The lighting in this parking area has been coordinated with the design of the lights used in the



walkways and entrance drives

Lighting placed at the circumference of this parking lot blends into the surrounding trees, reducing its visibility during the day.



This parking lot lighting illuminates the walkway and emphasizes the route to the front door.



These lighting fixtures are taller than the main building and out of scale with the site.



Spotlight fixtures should be avoided since they are difficult to aim and may cause spillover onto

adjacent properties.

***PEDESTRIAN SPACES***



The glare from this unshielded walkway light may make it difficult to recognize faces of oncoming pedestrians.



Low pedestrian lights must be well constructed and secured to a permanent base to prevent damage and dislocation. The fixture on the left appears unstable and prone to damage. Bollard fixtures on the right provide even illumination and complement the building.



Unshielded wall-pac lighting can cause dangerous glare and make it difficult to see the stairway.



These 10-foot fixtures add human scale to the landscape while illuminating the pathways and outdoor use areas.

***BUILDING FACADES & LANDSCAPE LIGHTING***



These facade-mounted lighting fixtures are visually compatible with the form and color of the building.



Unshielded facade-mounted lights are not allowed because they cause glare and spill light onto adjacent properties.

***GAS STATION, CONVENIENCE STORES & DRIVE-THROUGH  
CANOPY LIGHTING***



Drop fixtures are not allowed since they can produce dangerous levels of glare and cause a nuisance to abutting properties.



Lighting being considered as an integral part of the canopy design. The canopy light fixtures are recessed so the light source is not visible and do not create 'hot spots' that are distracting to the passing motorist.

## SIGNAGE PICTORIAL REFERENCE



Well-designed signage conveys necessary information and makes a positive contribution to the appearance of the community.

***SIGN DESIGN***



The signage for this new branch bank complements the architecture through repetition of forms, colors, and detailing.



Highly legible signs near roadways characterized by simplicity in materials, forms, and lettering.



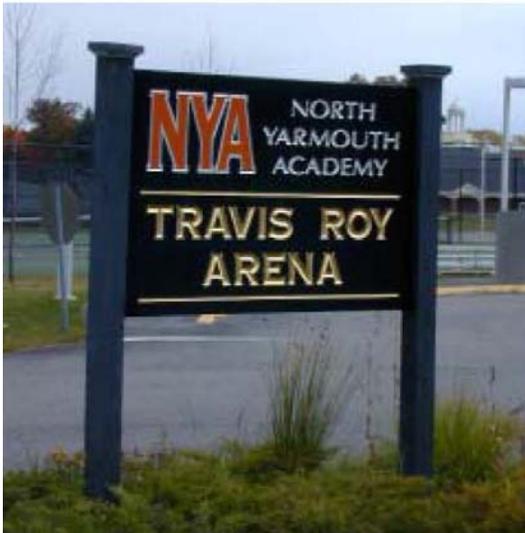
Internally-lit letters and logos are preferred over whole panels. Signage is scaled to the architectural elements that surround it.



This site directory clearly identifies destinations with a minimum of wording, allowing motorists to make decisions without having to stop.



An attractive pedestrian-oriented sign. The street address is prominently displayed on the larger sign. The lower panels contain extraneous information and do not contribute to the sign's wayfinding function.



A carved entrance sign with a minimal amount of information.



An internally-lit sign that fits into the facade of the building without crowding.

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These three signs are found in a large shopping center. They achieve compatibility with the architecture through the repetition of form, detailing, and materials.

***SIGN CONTENT***



The readerboard in this sign contributes to a cluttered appearance,



The readerboard at the bottom of the panel has been designed as an integral part of the sign.



A typical sign treatment for a large retailer, containing more information than is needed to identify the premises.



An attractive identification sign for a similar use that contains just the basic information.



A simple, direct sign with four 'bits' of information.

***FAÇADE-MOUNTED SIGNS***



This facade-mounted sign is out of scale with the signboard that supports it.



These signs are well integrated with the architecture, using only essential information about the tenant.



Mounting hardware can emphasize a sign and greatly enhance the building appearance.



These coordinated facade-mounted signs are in scale with the building design.

***MULTI-TENANT PROPERTIES***



This outlet mall is identified by a single sign at the entrance; names of the tenants are only found on the building facades. The result is less clutter along the highway.



The name of the center is very difficult to read and conflicts with the street number.



A simple, effective multi-tenant sign with a color-based hierarchy. The name of the property is more pronounced making it easier for wayfinding.

# Site Plan Regulations APPENDIX B

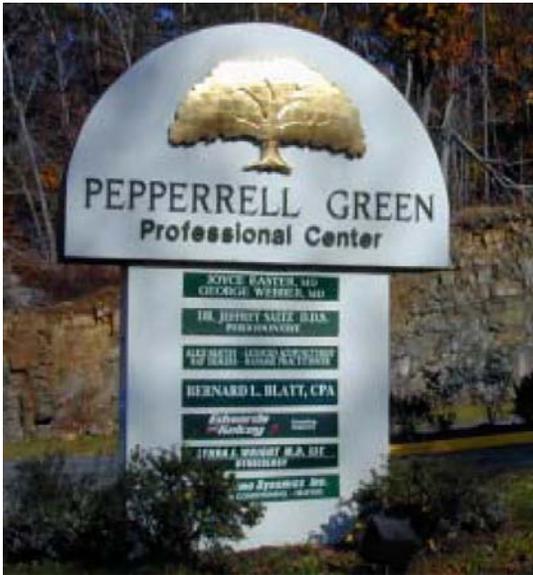
# Town of New Durham



The shopping center's logo (at top) is overpowered by the individual signs below. There is too much information for a motorist to absorb while driving.



The names of individual tenants compete for attention, making it very difficult to read while driving by.



A very well-designed sign for an office center. However, at 35 mph motorist will not be able to read the directory without slowing down. Shrubs also block visibility. The tenant names should be mounted on a separate sign within the center.



A multi-tenant sign with a clear hierarchy of information. The name of the plaza is at the top in

bolder lettering. Individual tenants are listed on contrasting backgrounds for legibility.

***EXTERNALLY-LIT SIGNS***



The lawn-mounted light fixture has been aimed to avoid spillover onto abutting property.



These top-mounted light fixtures are not well shielded or integrated into the design of the sign.



In both examples the top-mounted light fixtures are well-located, aimed, and shielded so that only the sign is lit. The lighting fixtures compliment the signs and the buildings.

***TEMPORARY SIGNS***



A temporary sign to announce a new name for an existing business.



A simple message on a temporary sign.



Moveable signs such as these are prohibited as temporary signs.